

Administrative Alternates



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831

Administrative Alternate Request: <i>Requested in accordance with UDO Section 10.2.17</i>	OFFICE USE ONLY
<p>Section(s) of UDO affected:</p> <p>Sections 1.5.3; 1.5.6; 3.2.4;</p> <p>Provide an explanation of the alternate requested, along with an applicant's statement of the findings Please see attached sheet.</p> <hr/> <p>Provide all associated case plan numbers including zoning and site plan: Site Review (SR-80-16) Transaction Number (488675)</p>	<p>Transaction Number</p>

Property Address 5000 Spring Forest Road		Date 06/19/2017
Property PIN 1736-06-8507	Current Zoning CX-3-PK	
Nearest Intersection Spring Forest Road & Louisburg Road		Property size (in acres) 2.29
Property Owner AMBER SPRING HOUSING ASSOCIATES, LLC	Phone (919) 848-2041	Mail 7706 Six Forks Road; Raleigh, NC 27615
	Email tim@spectrum-evergreen.com	
Project Contact Person Rick Baker, PE	Phone (919) 866-4939	Mail 5410 Trinity Rd, Ste 102; Raleigh, NC 27607
	Email rick.baker@timmons.com	
Property Owner Signature 	Email tim@spectrum-evergreen.com	
<p>Notary</p> <p>Sworn and subscribed before me this <u>20</u> day of <u>June</u>, 20 <u>17</u></p>	<p>Notary Signature and Seal</p>  <p><i>Expire 8/11/2022</i></p>	



Project: Amber Springs Senior Living Community
5000 Spring Forest Road
Transaction Number (488675)
Site Plan Review Number (SSR-80-16)

Project Description

The proposed project is a three story senior living facility located on 2.29 acres, which is currently vacant. The property is zoned CX-3-PK which allows the proposed use. The properties located to the east and south have the same zoning and the vacant property to the west is zoned R-1. A neighborhood transition yard has been provided as a buffer adjacent to the western property per UDO Sections 3.5.3.B and 3.5.4.

Explanation of Alternate Request

1. Per Section 3.2.4.D1 of the UDO regarding base dimensional standards of apartments – the required build to distance from the primary street is between 10 feet to 55 feet due to the 50 foot Parkway Frontage. The proposed building is located 85 feet from the primary street (30 feet past the allowed 55 feet) due to:
 - a. 12.5 feet of TCA
 - b. 17.5 feet required to divert overland stormwater runoff from the building as explained in Applicant's Statement of Finding below.
2. Per Section 3.2.4.D2 of the UDO regarding base dimensional standards of apartments – the required percentage of building located in the primary build to area is 70% minimum of the overall street frontage. The required building width is 182.2 feet and the proposed building width provided is 157.4 feet which is 24.8 feet short of the required distance. This shortfall is due to architectural design constraints of the individual apartment layouts for the building, dumpster location and parking lot constraints.

Applicant's Statement of Finding

The site has several development challenges:

1. There are existing overhead power lines located at the front of the site. Due to the required road widening along Spring Forest Road a utility pole will need to be relocated inside the property boundary and will require a 17.5 foot power easement from the front property line.
2. The required Tree Conservation Area (50 feet deep) along Spring Forest Road is required to be located outside of the power easement. Therefore the rear of the Tree Conservation Area (TCA) is located 67.5 feet from the front property line.



3. The proposed building has been located 85 feet from the front property line (17.5 feet from the TCA) due to the following site constraint:
 - a. There is considerable topographic fall from Spring Forest Road to the rear of the site in excess of fifteen feet. Due to the steep grades towards the proposed building from the front property line an interceptor swale was installed to prevent overland stormwater flow from entering the building. Even at this distance a small retaining wall was required (3.2 feet maximum height) to keep from impacting the TCA.

Administrative Alternate Findings (Section 1.5.6.D)

1. The alternate meets the intent of the build-to regulations
 - a. The build-to is intended to provide a range for building placement that defines the street edge along the right of way. Do to the 50 foot parkway frontage, power easement and the TCA coverage requirement the proposed building location meets the intent of the build-to requirements as much a practically possible. In relation to the adjoining properties (as shown on the Site Photograph Cover Sheet) the proposed building location is consistent with the adjacent building locations.
2. The alternate conforms with the Comprehensive Plan and adopted City plans.
 - a. Per the site zoning (CX-3-PK) Commercial Mixed Use (3 Story) the proposed land use provides a good transition between commercial land use and residential land use and meets the intent of the zoning to provide a variety of residential, retail, service and commercial uses.
 - b. The proposed land use addresses several of the Primary Land Use Issues of the 2030 Comprehensive Plan.
 - There is a need and opportunity for mixed-use redevelopment.
 - The proposed land use provides a medium density residential transition use between commercial and residential land uses.
 - Annexation and utility extensions have led to sprawling and leapfrog development patterns.
 - This project is an infill project inside city limits.
 - Most Raleigh residents live in neighborhoods where jobs, goods and services are not walkable or bikeable.
 - This project has provided pedestrian access along Spring Forest Road and to the commercial center located at the rear of the site.



- Growth and changing demographics require a greater diversity of house choices in infill locations.
 - This project provides a medium density housing choice for an aging demographic population.
 - Demands for denser and more intense development in infill locations and near neighborhoods raises issues of land use compatibility.
 - The medium density house proposed provides an ideal transition between commercial and residential land use.
3. The alternate does not substantially negatively alter the character defining street or establish a build-to pattern that is not harmonious with the existing built context.
 - a. Referring to the cover sheet for the Site Photographs, the location of the proposed building is consistent with the other building locations along Spring Forest Road.
 4. The change in percentage of building that occupies the build-to area does not negatively impact pedestrian access, comfort or safety.
 - a. The project provides pedestrian access along Spring Forest Road and to the commercial center located at the rear of the site.
 5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Section 1.5.3B.
 - a. An outdoor amenity area has been provided for both the front build to requirement (Sec 3.2.4.D1) and for the 70% build-to requirement (Sec 3.2.4.D2).



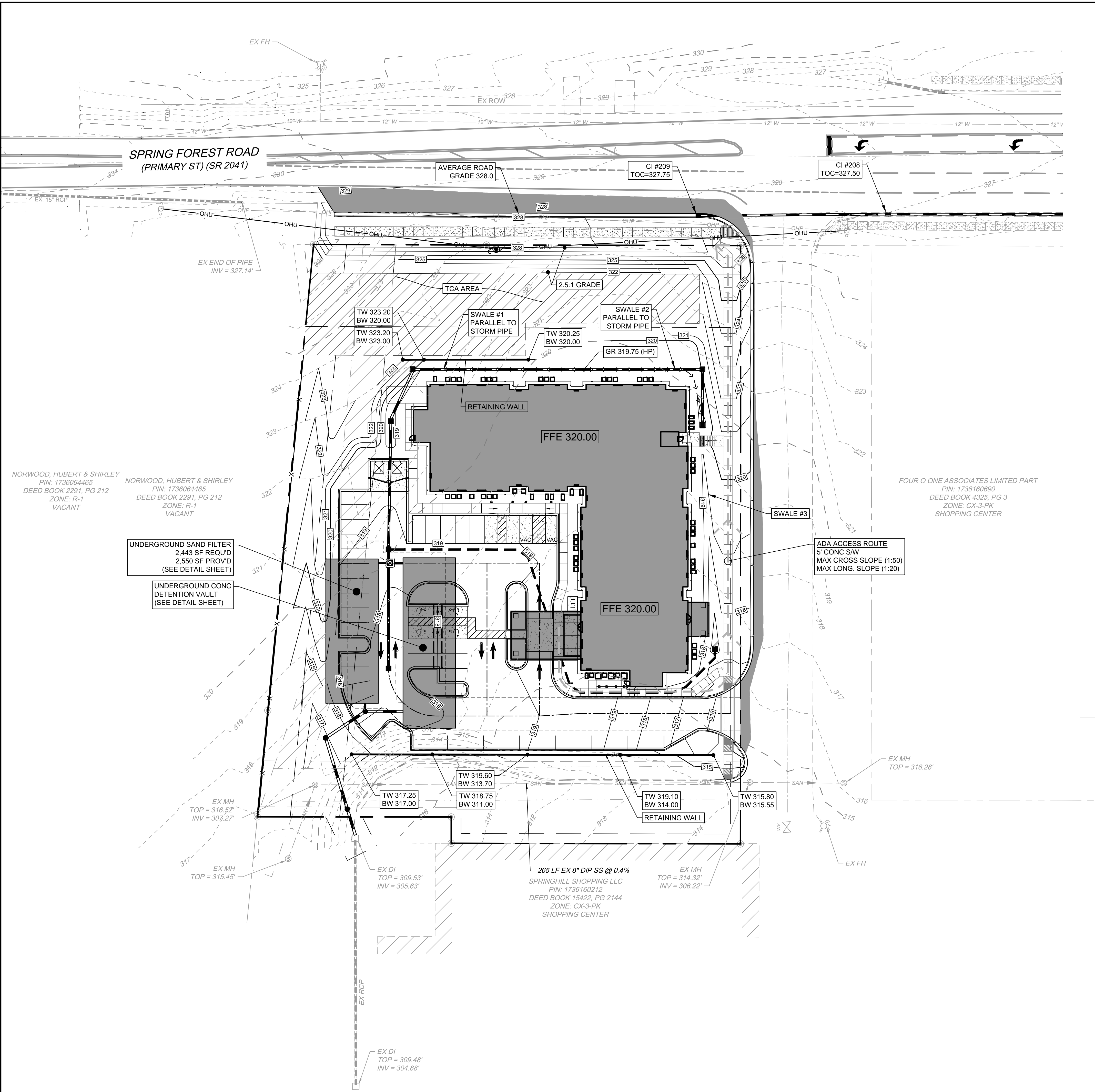
A map showing the boundary between the United States and Canada, labeled "NAD 83". The boundary is a vertical line with a crossbar. Below the map is a scale bar labeled "SCALE 1"=30'", with markings for 0, 30', and 60'.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH,
NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

SHEET NO.
C2.0

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R:\102\36311-Amber_Spring\DWG\Sheet\Exhibit\EXH APPEAR COMM BUILD TO 36311-C3.0-CRAD.dwg | Plotted on 6/21/2017 12:10 PM | by Patrick Barbeau



GRADING AND STORM DRAINAGE NOTES

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CURB INLETS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON NC GRID NORTH (NAD 83).
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 (2.0%) SLOPE IN ALL DIRECTIONS. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- SPOT ELEVATIONS ARE GIVEN AT THE MAJORITY OF THE MAJOR BREAK POINTS BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKING INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
- EXISTING VEGETATION WITHIN TREE PROTECTIVE AREAS SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR USING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ARCHITECT.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.

SCALE 1"=30'

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING- A SENIOR LIVING COMMUNITY

RALEIGH, NORTH CAROLINA

GRADING AND DRAINAGE PLAN

THIS DRAWING PREPARED AT THE

RALEIGH OFFICE
5410 Trinity Road, Suite 100, Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

NOT FOR CONSTRUCTION
21 JUNE 2017

DATE
12/21/20
05/10/20
09/14/16
DRAWN BY
P. BARBEAU
DESIGNED BY
P. BARBEAU
CHECKED BY
R. BAKER
SCALE
PER PLAN

JOB NO.
36311
SHEET NO.
C3.0

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FOR REVIEW
ONLY

NORWOOD, HUBERT & SHIRLEY
PIN: 1736064465
DEED BOOK 2291, PG 212
ZONE: R-1
VACANT

PRIMARY TREE CONSERVATION
AREA - PARKWAY FRONTAGE
(HATCHED AREA)

PLOT #1			PLOT #2			PLOT #3			PLOT #4			PLOT #5		
POINT NUMBER	DBH (IN)	SPECIES	POINT NUMBER	DBH (IN)	Description	POINT NUMBER	DBH (IN)	Description	POINT NUMBER	DBH (IN)	Description	POINT NUMBER	DBH (IN)	Description
642	7	SWEET GUM	651	4	SWEET GUM	660	15	LOBLOLLY PINE	700	5	RED MAPLE	699		TP
643	17	LOBLOLLY PINE	652	3	RED OAK	661	17	LOBLOLLY PINE	701	5	RED MAPLE	742	9	LOBLOLLY PINE
644	22	LOBLOLLY PINE	653	17	LOBLOLLY PINE	662	18	LOBLOLLY PINE	702	8	CHERRY8	747	6	ELM
645	5	CHERRY	654	5	SWEET GUM	665	18	LOBLOLLY PINE	703	8	CHERRY8	748	5	ELM
646	14	LOBLOLLY PINE	655	17	LOBLOLLY PINE	666	4	LOBLOLLY PINE	704	3	ELM	749	5	LOBLOLLY PINE
647	24	LOBLOLLY PINE	656	4	SWEET GUM	667	6	LOBLOLLY PINE	705	3	ELM	750	4	SWEET GUM
649	15	LOBLOLLY PINE	657	20	LOBLOLLY PINE	668	8	LOBLOLLY PINE	706	5	PECAN5	751	10	LOBLOLLY PINE
650	19	LOBLOLLY PINE	658	18	LOBLOLLY PINE	669	6	LOBLOLLY PINE	707	5	PECAN5	752	12	LOBLOLLY PINE
			659	17	LOBLOLLY PINE	670	4	LOBLOLLY PINE	710	4	PECAN4	753	7	SWEET GUM
						671	4	LOBLOLLY PINE	713	14	LOBLOLLY PINE	754	6	SWEET GUM
						672	4	LOBLOLLY PINE	714	5	CEDAR5	755	8	SWEET GUM
						673	5	LOBLOLLY PINE	715	10	LOBLOLLY PINE	756	8	LOBLOLLY PINE
						674	7	LOBLOLLY PINE	716	10	LOBLOLLY PINE	757	6	LOBLOLLY PINE
						675	N/A	DOGWOOD	717	12	LOBLOLLY PINE	758	7	LOBLOLLY PINE
						676	6	SWEET GUM	720	7	LOBLOLLY PINE	759	7	LOBLOLLY PINE
						677	3	SWEET GUM	721	9	LOBLOLLY PINE	760	7	LOBLOLLY PINE
						678	5	LOBLOLLY PINE	722	6	LOBLOLLY PINE	761	5	LOBLOLLY PINE
						679	7	LOBLOLLY PINE	723	10	LOBLOLLY PINE	762	6	LOBLOLLY PINE
						680	8	LOBLOLLY PINE	724	4	LOBLOLLY PINE	763	9	LOBLOLLY PINE
						681	9	LOBLOLLY PINE	725	6	LOBLOLLY PINE	764	5	LOBLOLLY PINE
						685	8	LOBLOLLY PINE	726	4	LOBLOLLY PINE	765	5	LOBLOLLY PINE
						695	7	PECAN	727	9	LOBLOLLY PINE	766	10	LOBLOLLY PINE
						696	7	SWEET GUM	728	6	LOBLOLLY PINE	767	6	LOBLOLLY PINE
						697	9	LOBLOLLY PINE	729	10	LOBLOLLY PINE	768	4	LOBLOLLY PINE
						698	4	LOBLOLLY PINE	740	6	LOBLOLLY PINE	769	8	LOBLOLLY PINE
									741	5	LOBLOLLY PINE	770	7	LOBLOLLY PINE
									743	4	SWEET GUM	771	6	LOBLOLLY PINE
									744	4	SWEET GUM	772	8	LOBLOLLY PINE
									746	5	SWEET GUM			

Plot 1			Plot 2			Plot 3			Plot 4			Plot 5		
Species	DBH	Tree basal area	Species	DBH	Tree basal area	Species	DBH	Tree basal area	Species	DBH	Tree basal area	Species	DBH	Tree basal area
Sweetgum	7.0	0.27	Sweetgum	4.0	0.09	loblolly Pine	15.0	1.33	Red Maple	5.0	0.4	loblolly Pine	9.0	0.44
loblolly Pine	17.0	1.07	Red Oak	3.0	0.05	loblolly Pine	15.0	1.33	Red Maple	5.0	0.4	loblolly Pine	9.0	0.44
loblolly Pine	22.0	0.64	loblolly Pine	17.0	1.08	loblolly Pine	18.0	1.77	Cherry	8.0	0.33	Pine	5.0	0.4
Cherry	5.0	0.14	Sweetgum	5.0	0.14	loblolly Pine	18.0	1.77	Cherry	8.0	0.33	loblolly Pine	5.0	0.14
loblolly Pine	14.0	0.7	loblolly Pine	17.0	1.08	loblolly Pine	18.0	1.77	Sweetgum	5.0	0.14	loblolly Pine	10.0	0.55
loblolly Pine	24.0	0.34	Sweetgum	4.0	0.09	loblolly Pine	6.0	0.20	Pine	0.05	loblolly Pine	10.0	0.55	
loblolly Pine	15.0	1.2	loblolly Pine	20.0	0.8	loblolly Pine	18.0	1.77	Pecan	5.0	0.14	loblolly Pine	13.0	0.6
loblolly Pine	19.0	1.97	loblolly Pine	18.0	1.77	loblolly Pine	6.0	0.20	Pine	5.0	0.14	Sweetgum	7.0	0.27
loblolly Pine	0.0	0.0	loblolly Pine	17.0	1.08	loblolly Pine	4.0	0.09	Pecan	4.0	0.09	Sweetgum	6.0	0.20
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	14.0	1.07	Sweetgum	5.0	0.14	loblolly Pine	0.0	0.0
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	4.0	0.09	Cedar	5.0	0.14	loblolly Pine	8.0	0.33
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	5.0	0.14	loblolly Pine	6.0	0.20	loblolly Pine	7.0	0.27
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	12.0	0.9	loblolly Pine	10.0	0.55	loblolly Pine	7.0	0.27
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	12.0	0.9	loblolly Pine	7.0	0.27	loblolly Pine	7.0	0.27
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	5.0	0.14	loblolly Pine	9.0	0.44	loblolly Pine	5.0	0.14
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	6.0	0.20	loblolly Pine	6.0	0.20	loblolly Pine	5.0	0.14
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	8.0	0.33	loblolly Pine	10.0	0.55	loblolly Pine	9.0	0.44
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	9.0	0.44	loblolly Pine	4.0	0.09	loblolly Pine	5.0	0.14
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	6.0	0.20	loblolly Pine	6.0	0.20	loblolly Pine	5.0	0.14
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	Pecan	7.0	0.27	loblolly Pine	6.0	0.20	loblolly Pine	10.0	0.55
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	7.0	0.27	loblolly Pine	6.0	0.20	loblolly Pine	4.0	0.09
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	4.0	0.09	loblolly Pine	10.0	0.55	loblolly Pine	8.0	0.33
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	9.0	0.44	loblolly Pine	9.0	0.44	loblolly Pine	8.0	0.33
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	4.0	0.09	loblolly Pine	5.0	0.14	loblolly Pine	6.0	0.20
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	Sweetgum	4.0	0.09	loblolly Pine	4.0	0.09	loblolly Pine	7.0	0.27
loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	loblolly Pine	0.0	0.0	Sweetgum	4.0	0.09	loblolly Pine	7.0	0.27

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation

[illegible]

0.23	10.04%
0.00	0.00%

0.00 0.00%

0.00 0.00%

0.23 10.04%

0.00	0.00%
0.00	0.00%
0.00	0.00%

0.00	0.00%
0.00	0.00%
0.00	0.00%

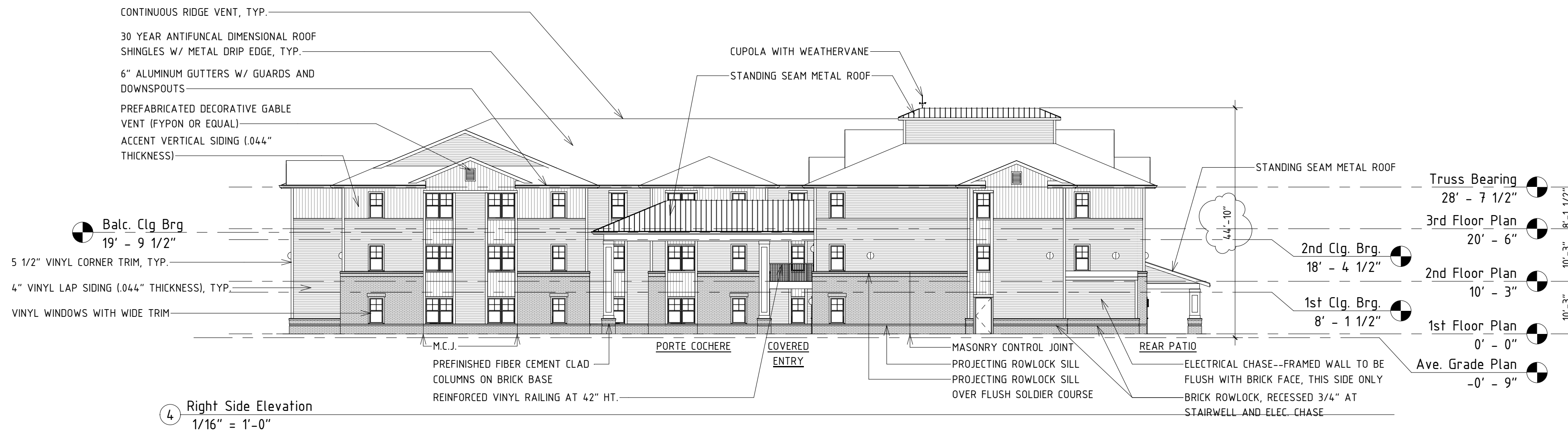
0.00 0.00%

4034

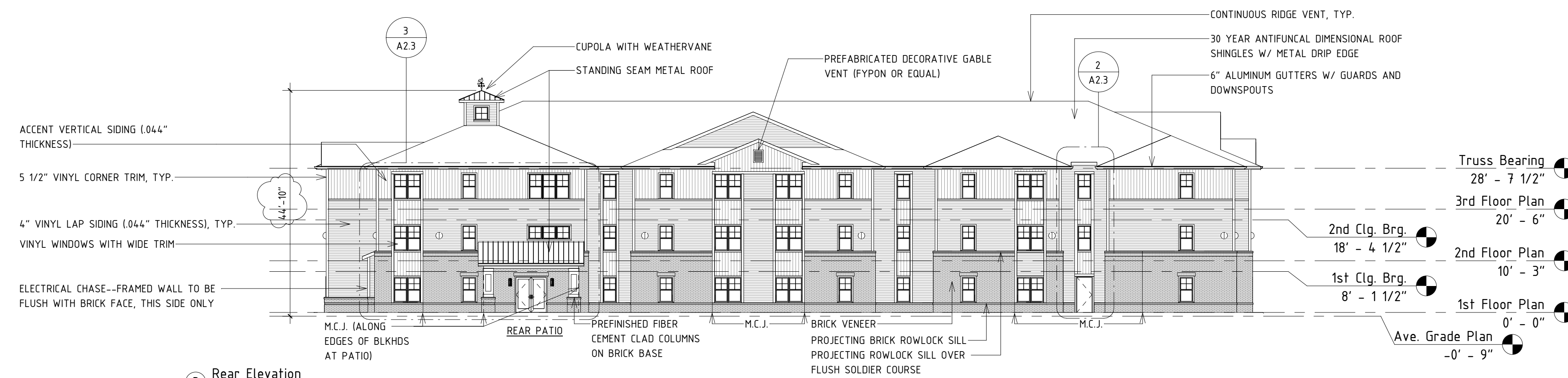
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH
NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TC1.0

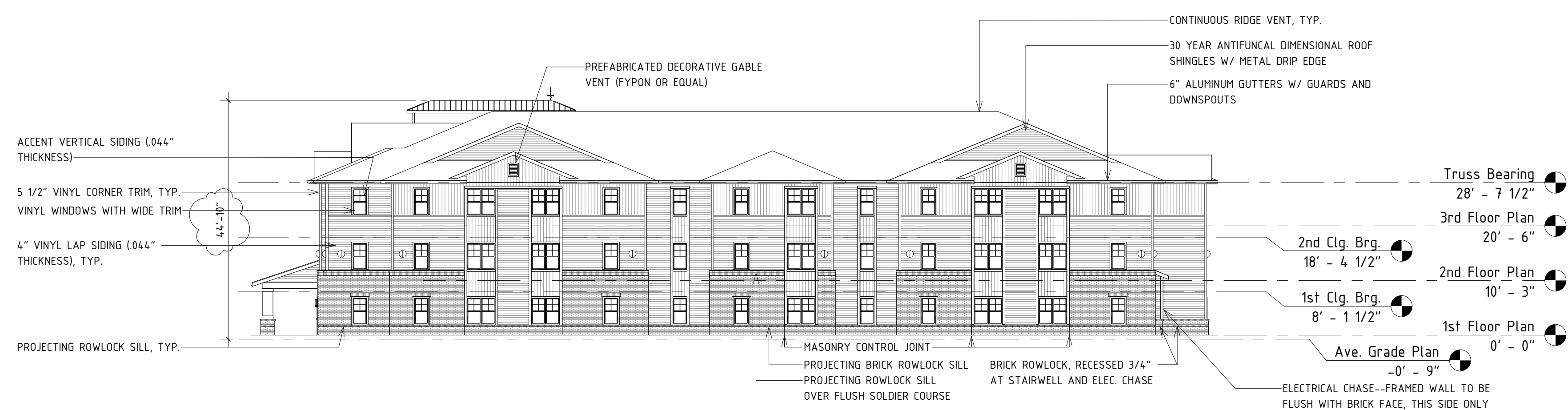
The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of several black dots of varying sizes arranged in a curved, upward-pointing arc.



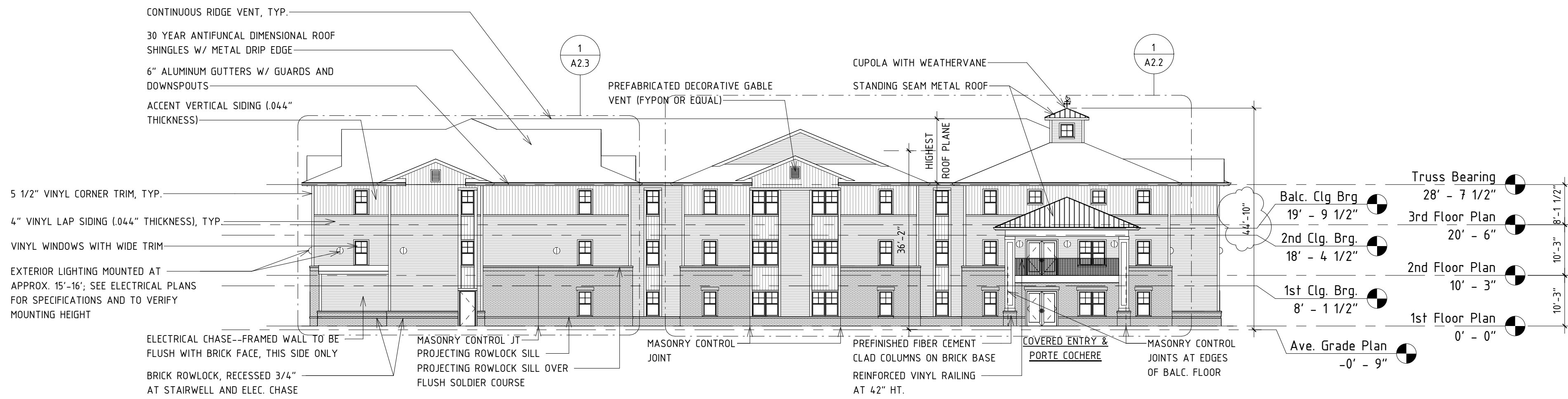
4 Right Side Elevation
1/16" = 1'-0"



3 Rear Elevation
1/16" = 1'-0"



2 Left Side Elevation
1/16" = 1'-0"



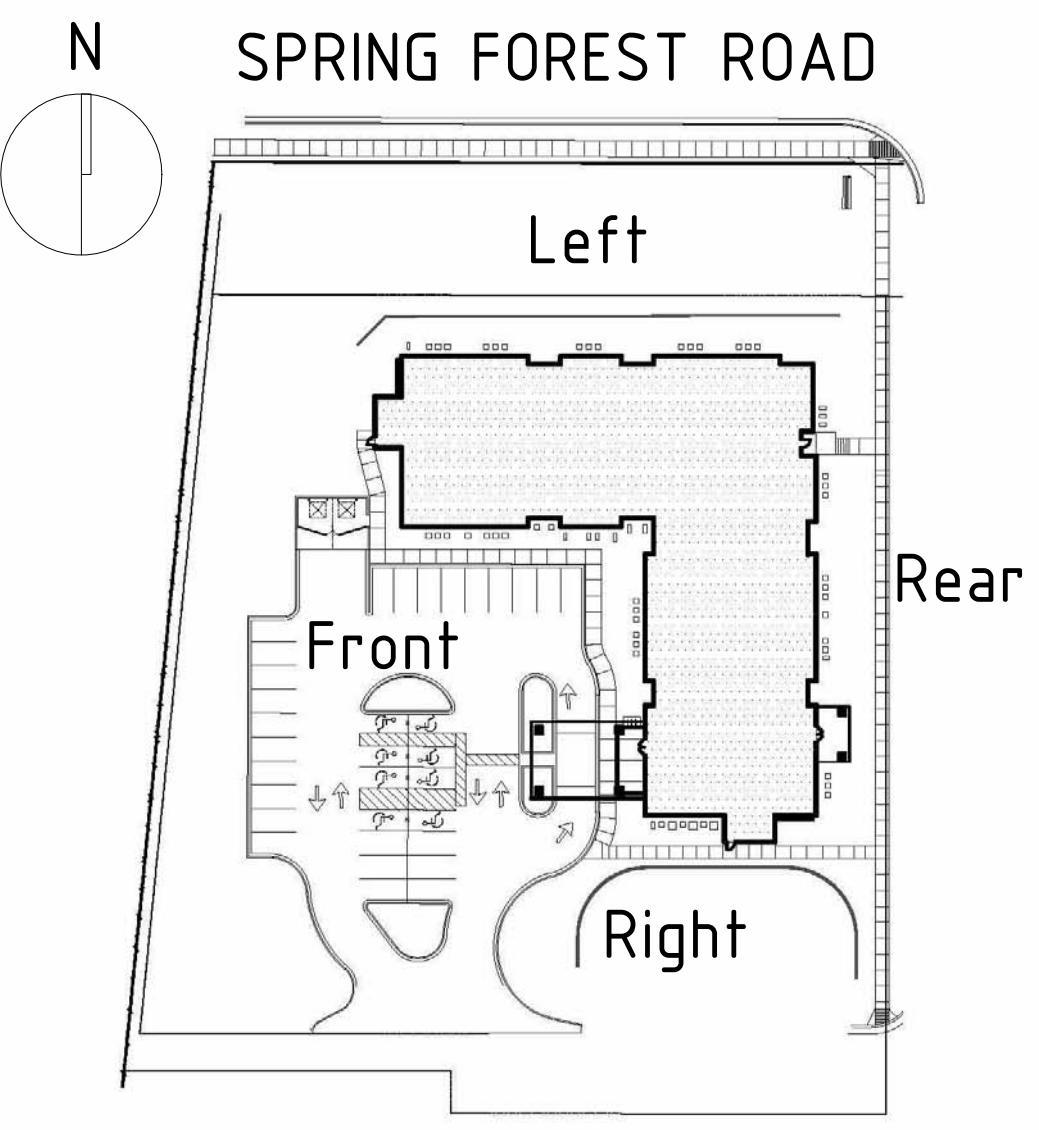
1 Front Elevation
1/16" = 1'-0"

ELEVATION GENERAL NOTES

1. MASONRY CONTROL JOINTS TO BE PROVIDED AT ALL INSIDE CORNERS, AS WELL AS WHERE INDICATED ON ELEVATIONS.
2. MINIMUM THICKNESS OF ALL VINYL SIDING TO BE .044".
3. SOFFITS TO BE PRE-FINISHED HARDIE COLORPLUS OR EQUAL.
4. ROOFER TO INSTALL PERMA BOOTS "WEATHERWOOD" AT ALL PLUMBING VENT ROOF PENETRATIONS.
5. SEE ROOF PLAN ON A14 FOR DOWNSPOUT LOCATIONS.
6. ALL VINYL SIDING TO HAVE A FLAME SPREAD VALUE OF 20 OR LESS.
7. ALL WORK TO COMPLY WITH THE NCHFA'S 2016 GAP.

NOTATION LEGEND

M.C.J. = MASONRY CONTROL JOINT
F.O.M = FACE OF MASONRY

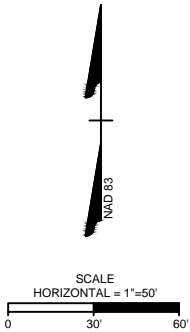


DAVID SCOTT MAURER
REGISTERED ARCHITECT
5131
NORTH CAROLINA
RALEIGH, NC
12/2/16

TightLines Designs Inc.
REGISTERED ARCHITECT
51726
NORTH CAROLINA
RALEIGH, NC

date 12.02.2016
drafter RDB
checked by DSM
project number T-16009.3
revisions date

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PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING - A SENIOR LIVING COMMUNITY

RALEIGH, NORTH CAROLINA
SITE PHOTOGRAPH LOCATIONS

JOB NO.
36311
SHEET NO.
C2.1

YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

NOT FOR CONSTRUCTION
21 JUNE 2017

DATE
12/21/2016
05/10/2017

DATE
09/14/16

DRAWN BY
P. BARBEAU

DESIGNED BY
P. BARBEAU

CHECKED BY
R. BAKER

SCALE
PER PLAN

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Amber Springs Site Photos



Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



Picture 6



Picture 7



Picture 8



Picture 9



Picture 10



Picture 11



Picture 12